

SUBMISSION: MAJOR REDEVELOPMENT OF TAROONA HIGH SCHOOL

SUBMISSION TO THE PARLIAMENTARY STANDING COMMITTEE ON PUBLIC WORKS
1 OCTOBER 2018

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INTRODUCTION

This submission seeks approval from the Parliamentary Standing Committee on Public Works for a major redevelopment to provide for new contemporary learning areas, support spaces and music and drama facilities.

The submission is presented at the detailed design phase and recognizes the strong need to provide new contemporary learning environments at Tarooma High School.

The Department of Education (DoE) provides co-educational secondary education services at Tarooma High School and caters for approximately 1040 students in grades 7 to 10. The school is situated in the southern riverside suburb of greater Hobart and is located within the Kingsborough Council area.

Facilities at the school have a fully enclosed covered area (FECA) of approximately 10,679m² and is situated on 11.8408 hectares of land. The school has a current capacity of 1050 FTE.

Tarooma High School has a well-known and documented capacity issue. This proposed project will increase FECA and capacity. The school facilities were built in 1957, with subsequent building in the 1988 and refurbished classrooms, hospitality area and science laboratories in 2003 and new classrooms and additional Science Facilities in 2015. Some minor internal refurbishments have been completed over time.

The large area, ageing infrastructure, corrosive environments and land instability have contributed to the challenges of maintaining the facilities to a high standard. Four key areas to be addressed have identified in this and any future capital projects;

Enrolments exceed capacity - the school has experienced a steady increase in enrolments and short term solutions have been applied to address this issue;

Student numbers projected to grow - the projected number of students is estimated to grow substantially over the next few years, which is driven by demographic changes within the school's catchment zone;

Many learning spaces under size - a considerable amount of the existing learning spaces are undersized by contemporary standards, particularly with class sizes of approximately 30 students;

Some learning spaces not fit-for purpose - Many classrooms are traditional in shape, restrictive in size and not appropriate for contemporary teaching and learning, with specialist areas such as those for music being acoustically unsound. The educational need for learners has changed significantly since the construction of Tarooma High School in the 1950's. Original learning areas are not conducive to high quality, engaging and innovative teaching and learning.

In recent years, the focus on the DoE capital submissions to Government has been on refurbishing and redeveloping secondary and senior secondary facilities as a priority area. The previous Commonwealth Government Building the Education Revolution (BER) Stimulus Package provided approximately \$330 million into the State for capital improvement in schools, however primary schools received the majority of this investment.

As a result, DoE has taken a strategic approach to seeking capital funding to improve secondary and senior secondary facilities. The facilities at Tarooma High School are a good example as they are generally in excess of 50 years old, had limited investment and in poor condition. Additionally, the use of IT and collaborative teaching in these facilities is high which required significant adjustment from the technology teaching practices and facilities of the past.

The State Government has allocated \$5 million in capital funding for new contemporary learning areas, support spaces, music and performance facilities at Taroona High School.



CURRENT EDUCATIONAL NEEDS AND PRIORITIES

21st Century Pedagogy and Learning Opportunities

Educational opportunities at Taroona High are comprehensive and include the opportunity to learn in a wide variety of contexts, meeting the diverse needs of students at Taroona High School. The school has an excellent reputation for outstanding student outcomes and opportunities.

Taroona High School offers an expansive range of courses for students, developing balanced, enriched learning for students to prepare them for the innumerable future opportunities beyond the compulsory years of education.

Students in grades 7 and 8 have a program which balances the need for a range of learning experiences, support and expectation. In grades 9 and 10, students explore areas of interest and passion, moving between courses which meet the intentions of the Australian Curriculum.

Taroona High School is an open and inclusive school community and have worked hard to break the mould of institutionalised learning. The timetable encourages flexibility and the curriculum is designed to cater for the individual needs, aspirations and dreams of Taroona students. The students care for the school, with very little to no vandalism, theft or other anti-social behaviour.

Staff and students work together to construct a learning environment that encourages participation, engagement and excellence. At the centre of all school decisions are the needs of students. It is from this basis that resource allocation begins.

Parents and carers, students and members of the school community highly value the outstanding programs available at the school. The physical location, nestled on the shore of the Derwent Estuary, provides our students with a learning environment equal of any in the world. Health and Physical Education, Outdoor Education and Environmental Science programmes make the most of the natural environment in this area, seeking to prepare young people to live with, and contribute to, the health of our region.

Access to technology is extensive with a mix of specialist areas for learning opportunities embedding digital technology as a tool for learning and pedagogy that fosters student individual and peer learning. Specialist areas of Music, Fine and Performing Arts are engaging and students' outstanding performance in these areas is exemplary.

Taroona High School believes that building and fostering building positive, productive relationships is fundamental to building a culture of learning. We believe in the power of collaboration to build the collective capacity of teachers and all staff to improve their practices. This is a focus on the 'right work' of improving teaching and learning to maximise the learning outcomes of students here.

To support teaching and learning of the highest quality, learners deserve contemporary facilities which inspire, connect and engage learners. Staff require the capacity to work flexibly and collaboratively, group students based on targeted need and to deliver explicit instruction to large and small groups in flexible learning spaces.

School Philosophy and Community Connections

Taroona High School is committed to a vision of being a leading centre of innovation, creativity and excellence in teaching and learning. As a learning organisation, the school places students at the centre of all practices with the aim of 'Enriching Lives Through Learning' for the whole school community, students, staff and parents.

In working with students, the staff model life-long learning and uphold the following values. We believe that these values are critical in constructing learning opportunities and supporting students as they develop self-awareness and establish themselves as valued members and leaders within their communities.

- Respect
- Honesty and Integrity
- Personal Growth
- Sense of Belonging
- Innovation and Creativity
- Engagement in Learning

Taroona High has an effective sub-school and grade team culture which prioritises ongoing and trusting relationships between staff and between staff and students. This allows for a genuine 'community' approach to meeting the needs of learners. Planning and subsequent actions are based on collaboration to prioritise high-leverage, evidence informed approaches to achieve one year's growth, every year, for each and every learner. Taroona High plans for full remediation, consolidation and extension.

Taroona High School monitors student growth and celebrates the range of student achievements. Learners are supported to be aspirational and to challenge themselves academically, socially and physically.

Taroona High School has an outstanding and committed School Association. The School Association strongly supports this development and have engaged in the process at every step of the way to ensure that the significant available resource is maximised to meet the needs of learners and teachers, both now, and for an uncertain future.

Enrolment Demand and Building Capacity

DoE has standard methodology for enrolment projections and the assessment of building design capacity. It is anticipated that Taroona High School will continue to experience enrolment pressure in the future.

It is noted that Taroona High School anticipate slightly higher enrolments numbers by year 2021 when compared to the standard DoE formula predictions. Taroona High School predict approximately 1224 FTE, based on 1% annual growth.

The table provided below is based on current student enrolments as at August 2018.

	Census data		Current Projections				
	2017*	2018*	2019	2020	2021	2022	2023
Year 7	248	284	266	290	330	305	313
Year 8	273	240	288	268	290	327	304
Year 9	227	272	244	288	270	290	325
Year 10	261	233	278	254	295	279	297
Total FTE	1009	1029	1076	1100	1185	1201	1239

*Actual first term census data

The 2018 mid-year census FTE for 2018 is 1037.

Project capabilities for Increased Enrolments & Years 11 and 12

The capacity of Taroona High School is currently 1050. The Department is assisting the school with short term solutions to increase capacity by converting existing spaces.

Five new GLAs will be provided with the development taking the number of GLAs from 42 to 47, increasing the estimated capacity of the school by 125 FTE. There continues to be strong growth in the enrolment for many of the feeder primary schools including Taroona, Albuera Street, Waimea Heights, Princes Street and Lansdowne Crescent.

The Department is strategically assessing all options to address the capacity issue into the future. The Strategic Site Development Plan identifies an area to potentially accommodate years 11 and 12 in the future (plan 2).

Existing Facilities

The school is situated at Meath Avenue, Taroona and is co-located with Taroona Primary School. It is situated on 11.8408 hectares of land, with a current site FECA of 10,679m².

Our school buildings are situated on the extensive grounds that incorporate pleasant gardens, playing fields and lawns. Sporting facilities include two sports ovals, a hockey field, newly re-surfaced tennis courts and a boat shed and safe, sunny areas on Dixons Beach for water sports.



There are five main buildings on the school campus:

A Block

Administration Office, Students Services, General Classrooms, Library and Resource Centre, Main Staff Room, offices for the Principal and Assistant Principals.

B Block

Technology and Computer Assisted Design Centre, and the Home Economics Kitchens, the Canteen, as well as newly built general-purpose classrooms. The School Psychologist and Social Worker office is also located in B Block.

C Block

This block is home to the Music and Performing Arts program, including Dance and Drama and Computer Studies.

Gymnasium

The gymnasium is regularly in use for Health and Physical Education classes and also serves as an Assembly Hall and Performing Arts Centre.

Science Building

The Science building was recently redeveloped and is an innovative, flexible and exciting learning area for students. The Science area is now able to focus on areas such as biotechnology and nanotechnology.

Known capacity issues exist on site together with aged music and drama facilities. Other existing specialist learning areas vary in adequacy to enable contemporary teaching and learning practices.



Existing art facilities are constrained in a very tight space with poor storage. The Cafeteria is currently located in the lower ground floor of MDT and does not provide for the capacity of students.

Current car parking facilities are constrained. Improved student bus services and the recent upgrade of the bus turning circle has provided much needed relief in these areas.

42 existing GLAs vary between 49.5 and 72 square metres (sq.m.) of floor area compared to a contemporary minimum target of 75 sq.m. The current distribution of GLAs does not support the needs of grade groupings and therefore creates difficulties for the provision of collaborative teaching and learning and inefficiencies with student movements between class times.

The existing administration facilities are under sized for the school and poorly planned. The current configuration is difficult to extend successfully. Space limitation and current proximity of existing staff areas continue to challenge effective and efficient support for students in a modern education environment.

Community Consultation

The Department of Education established a Project Working Group comprising representatives from the following organisations:

- Learning Services Southern Region: Mrs Judy Travers- General Manger
- School Association: Mr Stuart Tanner, Mrs Katree Wilson
- School Management and Support Staff: Mr Matthew Bennell- Principal, Mr Glenn Schultz- AST, Head of Arts; Ms Libby Ashlin- School Business Manager
- Project Consultant Team: Mr Tim Penny, Mr James Ho
- DoE Capital Project Manager: Mr Matthew Bilsborough
- DoE IT Project Officer: Mr Mark Steczkovicz

The consultation process for the Taroona High School capital works project has been undertaken in line with the Consultation Matrix in appendix 6. The matrix was presented to the School Association in 2017 and shared with the school community via newsletter. The matrix outlines 5 levels of consultation intensity from *Inform* to *Partner*.

INFORM

- I. The school community has been informed via multiple newsletter updates and Facebook posts (public). This has allowed regular updates on the progress of the project and invited interested parties to communicate directly should they require more detailed information.

2. This process enabled the local Taroona Community Association to communicate directly seeking additional detail on the plans for the school.

CONSULT

1. The consultation level of engagement has involved face to face meetings with broader community groups, including Taroona Primary School Association, Taroona Community Association and school neighbours. The Principal, has met with both individuals and small groups to share the broad aims of the project, common challenges facing the needs of learners and to listen to concerns and ideas. Direct engagement has also enabled specific advice to be provided regarding the scope of this project.
2. Parents and families of those remembered in the Mystery Creek tragedy memorial have been involved at this level, as the site selected will directly impact on the current memorial site. Taroona High School will involve a student group, working with consulting landscape architects to design a suitable alternative. This approach has been universally endorsed by the families affected.

INVOLVE

1. Student groups have been fitted with spatial tracking devices to provide data to the project team, students have met with the consultant architects to add to this data picture. Data was shared with the student groups and consultants received qualitative data to enhance the quality of the special data.
2. All staff and parent representatives visited a number of recently redeveloped school sites in Southern Tasmania- a set of design principles were developed from this process.
3. Student groups were re-convened at regular intervals to discuss the proposed plans with feedback sought.
4. Staff groups have been encouraged to provide advice as the specific subject requirements, as well as using visits to other school sites to develop some general principles for contemporary school design.
5. Staff have been provided with regularly updated designs and plans and engaged in a process to feedback to the working group.
6. A Capital Works sub-committee of the School Association was formed with direct representation on the Project Working Group providing direct input into the design phase and enabling an additional level of communication.

NEXT PHASES

- Site plans and artist's impressions will be shared more widely with the parent community, via the Capital Works sub-committee of the School Association.
- Student groups to work with project team on specific student related elements - canteen, arts project, open space, landscaping.
- Continue work on broader site strategy - to share with Taroona Community Association.
- Follow-up meetings with neighbours.
- Invitation and meeting to share proposed memorial with affected families.
- Public exhibition via the Kingborough Council planning application process.

PROPOSED WORKS

The project will include a new, state of the art, music facility to enable delivery of the comprehensive school music program. The proposed facility is located within the heart of the school campus and provides a roof top terrace, adjacent to the existing Gymnasium, to be used as an external GLA, a school plaza for music performance and informal student use.

The new building comprises:

- Two large multipurpose rehearsal areas which can accommodate full orchestra practice.
- Five individual practice rooms.
- Three ensemble practice rooms suitable for group practice and specialist music tuition.
- A new multipurpose classroom, which can also accommodate large group rehearsal.
- New staff facilities, associated support space and a resource area.
- Student and staff amenities, including an instrument wash area and a student kitchenette.
- A multipurpose storage facility adjacent to Rehearsal 1.
- A new mezzanine accommodating large music instrument dispensary and store, together with informal student practice area.

The project will upgrade two levels of existing C Block that currently accommodates music. This includes conversion of the existing upper level to five multipurpose GLAs with a central student breakout and a new staff office.

Minor works are proposed at the lower level of C Block to accommodate contemporary music. This will provide improved practice room functionality and installing a new acoustic ceiling to the large multipurpose practice studio for improved acoustic isolation for the refurbished learning area above.

Site Planning and School Design

A comprehensive analysis of the Taroona High School campus was undertaken to inform Site Planning and School Design.

The initial phase was an assessment of the existing facilities, current use and demand, a functional relationship review, together with a high-level briefing on projected future educational demand. A Strategic Site Development Plan was prepared to identify the potential site development framework. Once the project scope had been finalized a detailed Functional Brief was compiled, to establish the project parameters within the Master Plan.

Key site issues identified were: -

- Taroona High School is a constrained site, across multiple levels within a landslip area.
- The school is running at full capacity and student numbers are increasing.
- There is limited opportunity for providing year group cohorts and home areas. It is important for Y7 and Y8 to have their own areas but engaged within the school community as they transition to Y9-10.
- There has been incremental development of individual buildings across the site.
- External circulation within the campus is constrained, not student focused and lacks engaging or coherent landscaping.
- The site has a high level of uncontrolled visitor permeability. The 'Front Door of Administration is remote and difficult to access.

- There is a concentration of learning areas within A-B Blocks which limits capacity for contemporary teaching.
- The existing building which accommodates music (C Block) is not fit for purpose, as it was formerly classrooms converted to rehearsal and practice areas.
- There is an opportunity to enhance the iconic waterfront/ environmental relation to site.
- There is an opportunity to utilize C Block to provide additional classrooms, should music be relocated in a purpose-built facility maintaining key relationships of music/gym as the major event space.
- Currently music impacts on adjacent learning areas and has limited acoustic control.
- Any new development in close proximity to a landslip zone will require specialist Geotechnical Engineering advice and input.

Development of a Strategic Site Development Plan and Master Plan was undertaken in consultation with the project working group, including community representatives. In addition, consultation has included teacher forums and engagement with the student leaders' project group.

Key elements of the plans included

- Analysis of the site and building fabric together with educational demand and mapping current use.
- Mapping student site movement and circulation.
- Site environmental condition assessment and heritage overlay.
- Identification of site constraints and opportunities, with consideration to the current capacity and projected school demands.
- Development of the project brief to include a schedule of functional areas.
- Benchmarking best practice educational design for contemporary music facilities for Y7 -10.

The Master Planning included reviewing alternative development options and this was undertaken with the consultant team and the Project Working Group.

The options were: -

- A) Major redevelopment of the existing building (C Block)
- B) Demolition of C Block and a rebuild
- C) New development on a greenfield site and retention of C Block with some modifications

The proposed development C, provided the optimum solution, as a purpose built facility within the heart of the school. Retention of C Block ensures minimal impact on staff and students during construction. C Block will provide additional GLAs for increasing demand. Overall this option provides maximum value within the project budget.

Architectural Statement

The design of the new music facility provides high quality spaces for teaching and practicing music and provides for the refurbishment of existing music facilities to GLAs therefore increasing the school capacity. The site planning places the new music facility within the heart of the school, recognizing the importance of music at Taroona High School.

The design has the capacity to have large group tuition through to small individual practice rooms. The varying spaces are connected with a large central atrium space that has the flexibility to incorporate multiple functions, such as performances. The edge of the building is within the excavated bank, providing a natural enclosure for the large volumes and a high level of acoustic control.

The central atrium space is illuminated with a high-level skylight for natural light into the centre of the building and it also has an upper level mezzanine to provide a dynamic, unique performance/ practice student focused space.

The building form is stepped to echo the natural land form and maintain a 1-2 storey scale development to ameliorate the institutional character of the existing A-B Blocks. It is proposed to landscape the building edge and remove the 'road' features of kerb and gutter with urban materials introducing scale, texture and landscaping, creating a unique facility for Taroona High School.

Acoustic treatment of existing ground floor ceiling of C block will ensure that areas refurbished for new GLAs on the first floor will be effective learning spaces.

Building Materials

The construction of the new music centre is a conventional commercial building technique of concrete slab columns, and a post tensioned upper level slab forming the roof. The retaining walls are precast concrete panels and the North and East walls are lightweight framing, with compressed sheeting and powdercote aluminum framed windows and doors and presents the DoE requirements for a maximum design life. To achieve a high level of acoustic control the construction of internal walls require multiple sheets with discontinuous construction and sound absorbing ceiling and wall linings. This includes faceting walls and modulating wall lining materials to achieve the optimum balance between sound absorption with sufficient reverberation of particular sound frequencies for music performance, whilst ensuring sound is contained within the space. A high level of acoustic design is included for the multipurpose classroom to provide flexibility for a range of uses. The upper level terrace is to be landscaped utilizing planting within purpose designed planters, external furniture for informal seating and sculpted surfaces for performance.

Sustainable Design

The new music facility and the refurbishment of C Block incorporates sustainable design into this development. These include: -

- The building design provides an enclosed space 'within the bank'. There are high level windows for natural light and ventilation. As it will be a very stable environment, the large two storey volume space will require limited cooling.
- All external windows are double glazed (also for acoustic control) and external wall insulation exceeds building code requirements.
- The design incorporates passive design principles for solar control and natural ventilation. The glazing with North orientation has integrated external sun shading to prevent solar loading whilst providing a quality internal environment.
- Use of the internal atrium skylight as a thermal flue to maintain indoor air quality and heat recovery through extraction.
- Use of low energy fittings throughout with time limited controls.
- Use of salvaged and recycled building material within C Block.

Accessibility

Taroona High School is a complex site, over multiple levels. All buildings are accessible via external roadways and A/B Block is serviced by a lift.

Administration is located within the ground floor of A Block and is accessible via a series of roads, paths and ramps.

The Strategic Site Development Plan proposes relocating Administration adjacent to the new Music Facility at the level of the Gymnasium. This provides a 'Front Door' with level access adjacent to the vehicle drop off and accessible car parking.

The new Music Facility includes an accessible concourse located between the Gymnasium and the new facility. This provides a major upgrade of the main entry, in accordance with the requirement to provide universal access for all.

Tasmanian Government Art Site Scheme

The proposed development presents excellent opportunities for an artwork component to be incorporated into the social spaces of the rooftop terrace and other opportunities throughout the proposed works. The artwork component will be progressed by a sub-group of the Project Working Group.



PROJECT MANAGEMENT

Funding and Budget Estimates

Funding to the amount of \$5 million has been provided by the Tasmanian State Government for the project. Taroona High School has also committed \$380,000 to the project budget.

The project funding is divided into the following components:

Description	Budget Component (\$'000)
Construction, including construction contingency	4,600
Up-front expenses including consultants' fees	386
Furniture and Equipment	140
Contingency and Post-Occupancy	174
Art Work	80
Total	5,380

The furniture and equipment budget will provide for appropriate furniture and Information Technology for contemporary learning environments.

Consultants and upfront planning fees include architectural and engineering fees and permit authority fees.

In line with project management best practice, a contingency sum has been allowed for to provide additional funds in the event of design amendments, unforeseen construction costs, additional expert advice and post-occupancy changes.

Tim Penny Architecture and WT Partnership Quantity Surveyors have provided cost estimates for the project based on the current design. The project is currently in design development and the construction estimate may vary by the time tenders for construction are called. A design contingency has been allowed to cover this. The project scope will be managed within the budget parameters to ensure budget overruns do not occur.

Details of the preliminary cost estimate are as follows:

Construction Budget	Cost Estimate (\$'000)
Internal building works to C block	252
Music learning hub building works	2,980
Music learning hub site and services	720
Landscaping to new learning hub rooftop garden	98
Construction Contingency	550
Total Construction Budget	4,600

Project Timeline

The key upcoming dates for the project are as follows:

Project Task / Phase	Completion Date
PSCPW hearing	1 October 2018
Development Application submission	August 2018
Design development finalised	August 2018
Documentation, preparation for tender	September 2018
Tender date – <i>subject to PSCPW approval</i>	October 2018
Tenders close	November 2018
Tender assessment and approval	December 2018
Contractor appointed	January 2019
Construction commences	February 2019
Construction completed	February 2020
Defects liability period	February 2021
Post completion review and evaluation	February 2021
Project completion	February 2021

Potential Project Constraints

Risks and constraints identified in relation to the project budget, timeline and scope include the following:

Identified Risks	Risk Mitigation Strategy
The pre tender estimate will exceed the total available budget.	The tender will be packaged to allow reduction in scope should the tender sum exceed the pre tender estimate. Ongoing cost reviews throughout design process.
Planning approval will not be forthcoming to meet the time frame for tender.	The planning application was submitted in August 2018 to ensure approval is received prior to proceeding to tender.
Design development will not progress in a timely manner to meet the time frame for tender.	Weekly project working group meetings have been scheduled to ensure design can progress in the timeframe required working with consultants and the school to expedite this process.
Design not meeting requirements for 21st century pedagogy.	Weekly project working group meetings with key school staff to ensure 21st century pedagogy can be achieved in the new facility. Senior DoE Educators are involved with the design development process.
Delays occur during construction.	Regular site meetings will be held throughout the construction phase that updates the construction programme. Adequate programming has allowed full documentation of the construction package to minimise the risk of technical difficulties during construction.
Known landslip issues.	Detailed geotechnical advice has been sought throughout the design phase that will inform design, construction processes and management of the site works.

CONCLUSION

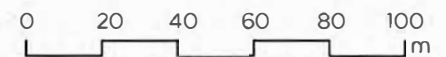
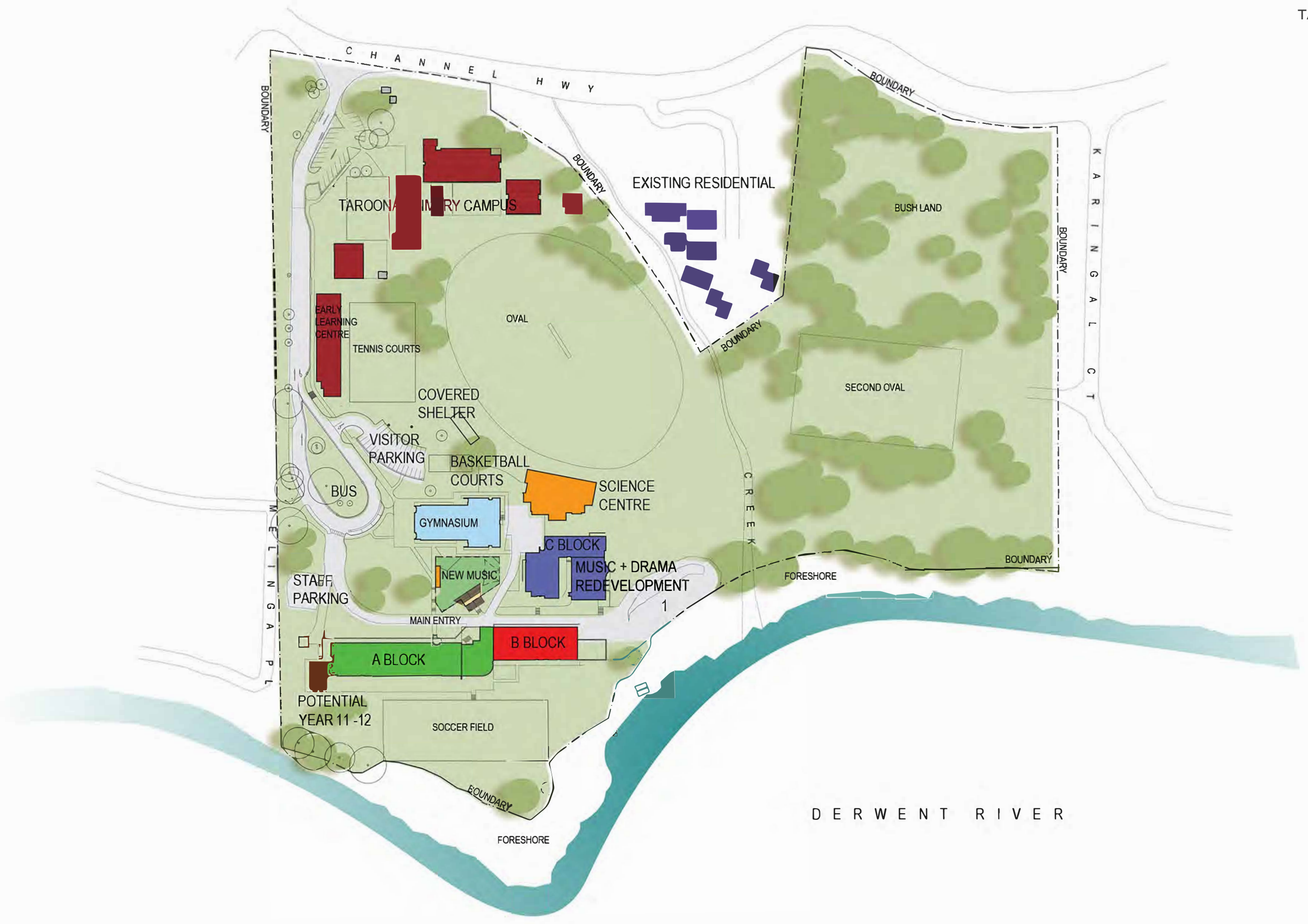
The major redevelopment of Taroona High School will provide:

- A new purpose-built music facility.
- Refurbishing of the existing C block to provide five additional GLAs', breakout and staff areas.
- Appropriate home grade area within C Block GLAs'.
- Address functional deficiencies of inadequate sound separation between the ground floor and first floor GLAs'.
- Dedicated music staff areas.
- Upgraded accessible entry.

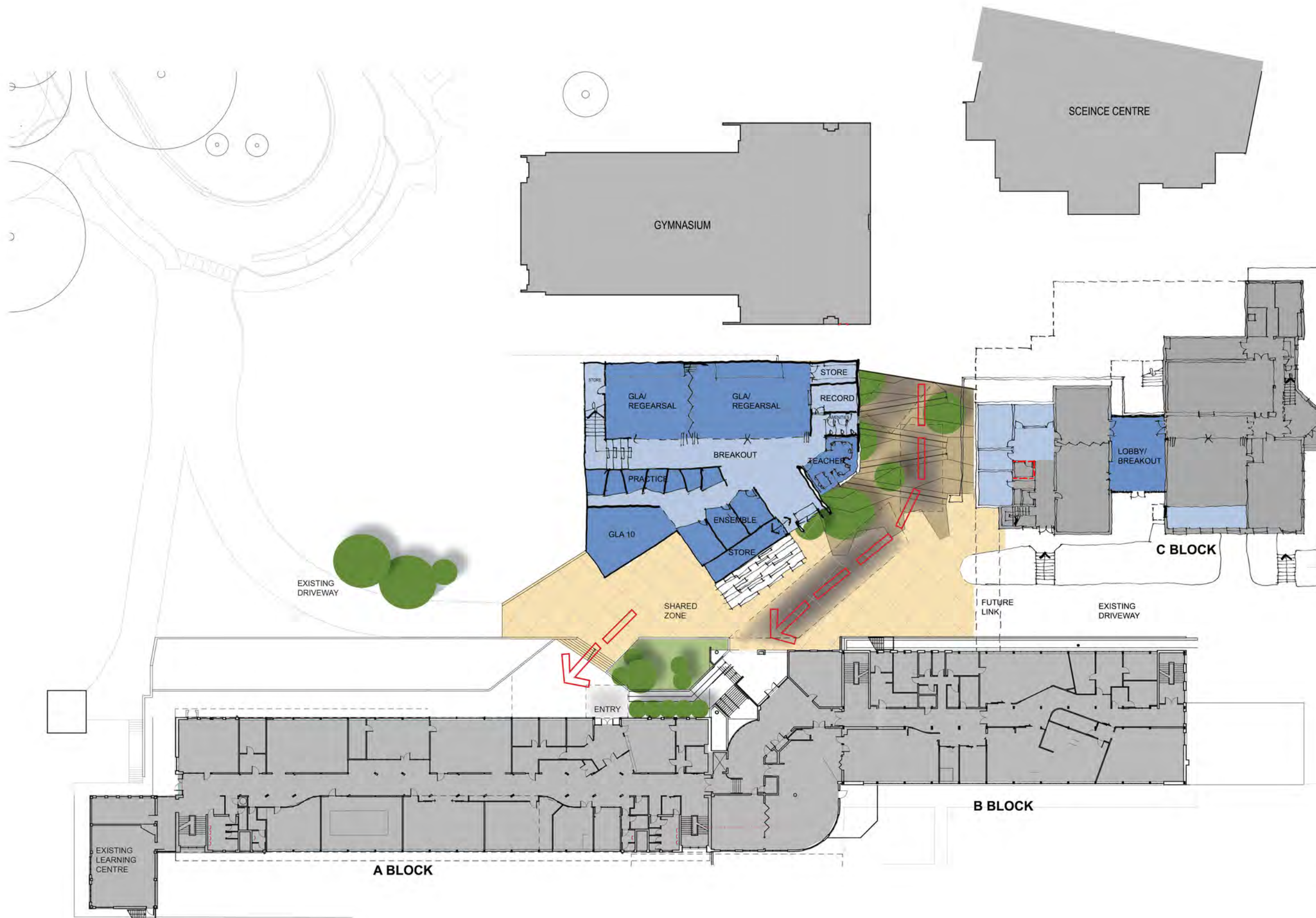
The need to undertake these redevelopment works is high given the current dated facilities and lack of building capacity. It should also be noted that the \$5 million funding allocation provides a much-needed injection into the State economy.

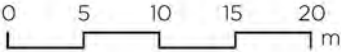
It is therefore recommended to the Parliamentary Standing Committee on Public Works that the major redevelopment works proposed for Taroona High School proceed as detailed in this submission.

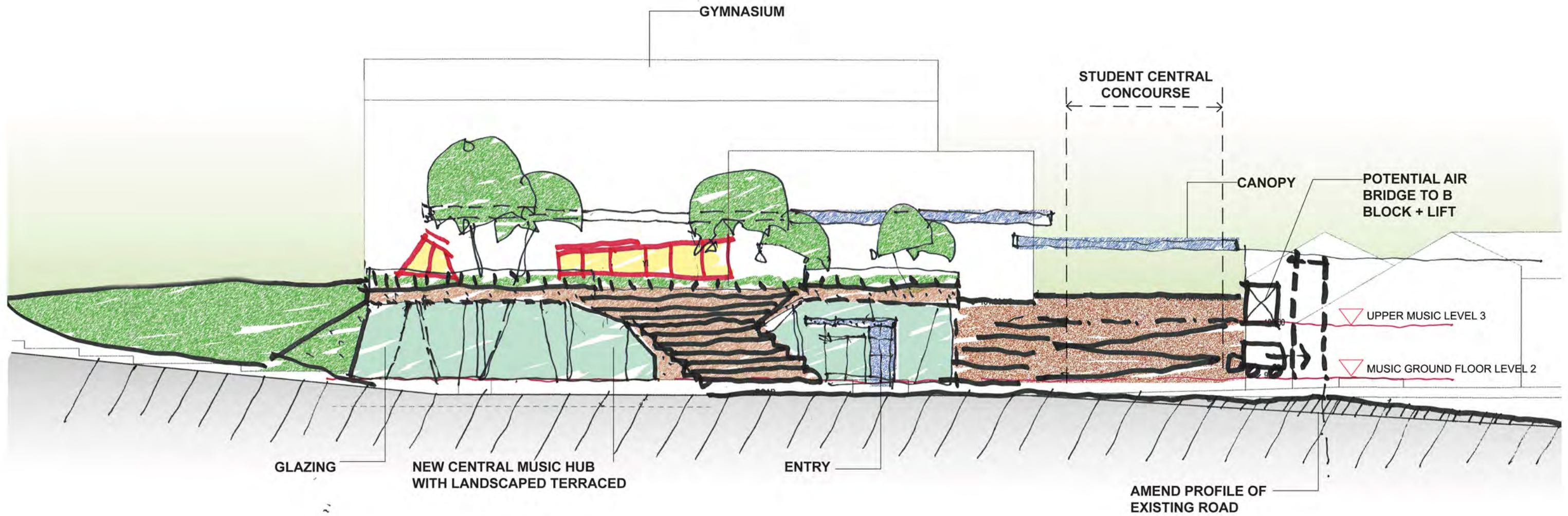












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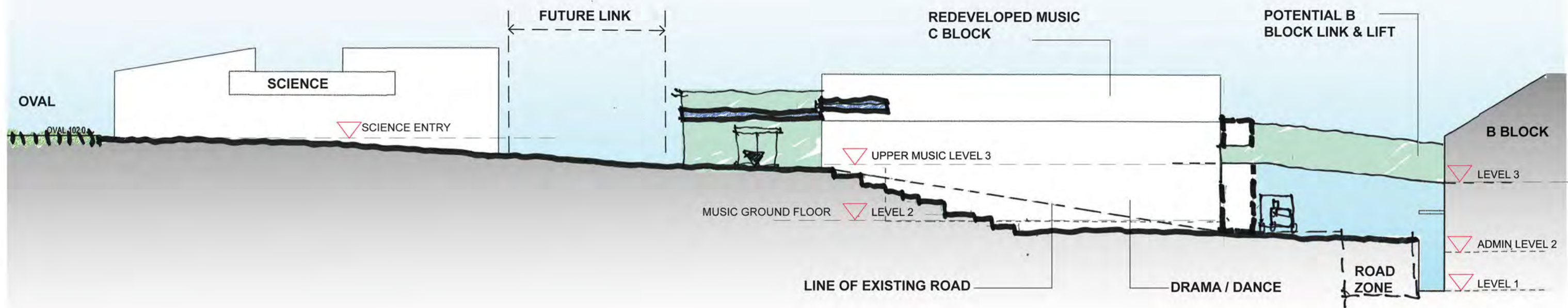
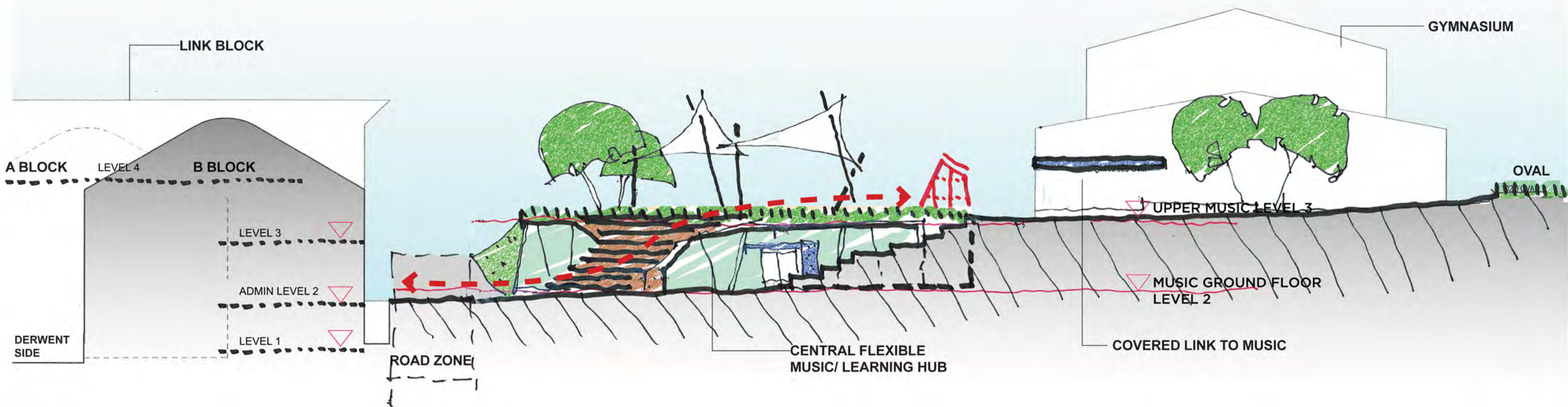
TIM PENNY ARCHITECTURE + INTERIORS



TAROONA HIGH SCHOOL REDEVELOPMENT
CONCEPT SECTION

MEATH AVENUE, TAROONA

PROJECT NO. : 02417
DATE : FEB 2018
SCALE : AS SHOWN @ A3
REVISION : A



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TIM PENNY ARCHITECTURE + INTERIORS



TAROONA HIGH SCHOOL REDEVELOPMENT
CONCEPT SECTIONS

MEATH AVENUE, TAROONA

PROJECT NO. : 02417
DATE : FEB 2018
SCALE : AS SHOWN @ A3
REVISION : A



DRAWING KEY

AP	ACCESS PANEL
BS	BASIN
CA	CARPET
CS	CLEANERS SINK
FIP	FIRE INDICATOR PANEL
HR	HANDRAIL
HWC	HOT WATER CYLINDER
IOC	INDOOR/OUTDOOR CARPET
M	MIRROR
PBD	PINBOARD
R	REFRIGERATOR
S	SINK
SHR	SHOWER
SWB	SWITCHBOARD
TI	TACTILE INDICATOR
TV	TELEVISION
V	VINYL
WBD	WHITEBOARD

	EXISTING
	NEW

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TAROONA HIGH SCHOOL
NEW MUSIC FACILITIES
MEATH AVENUE, TAROONA

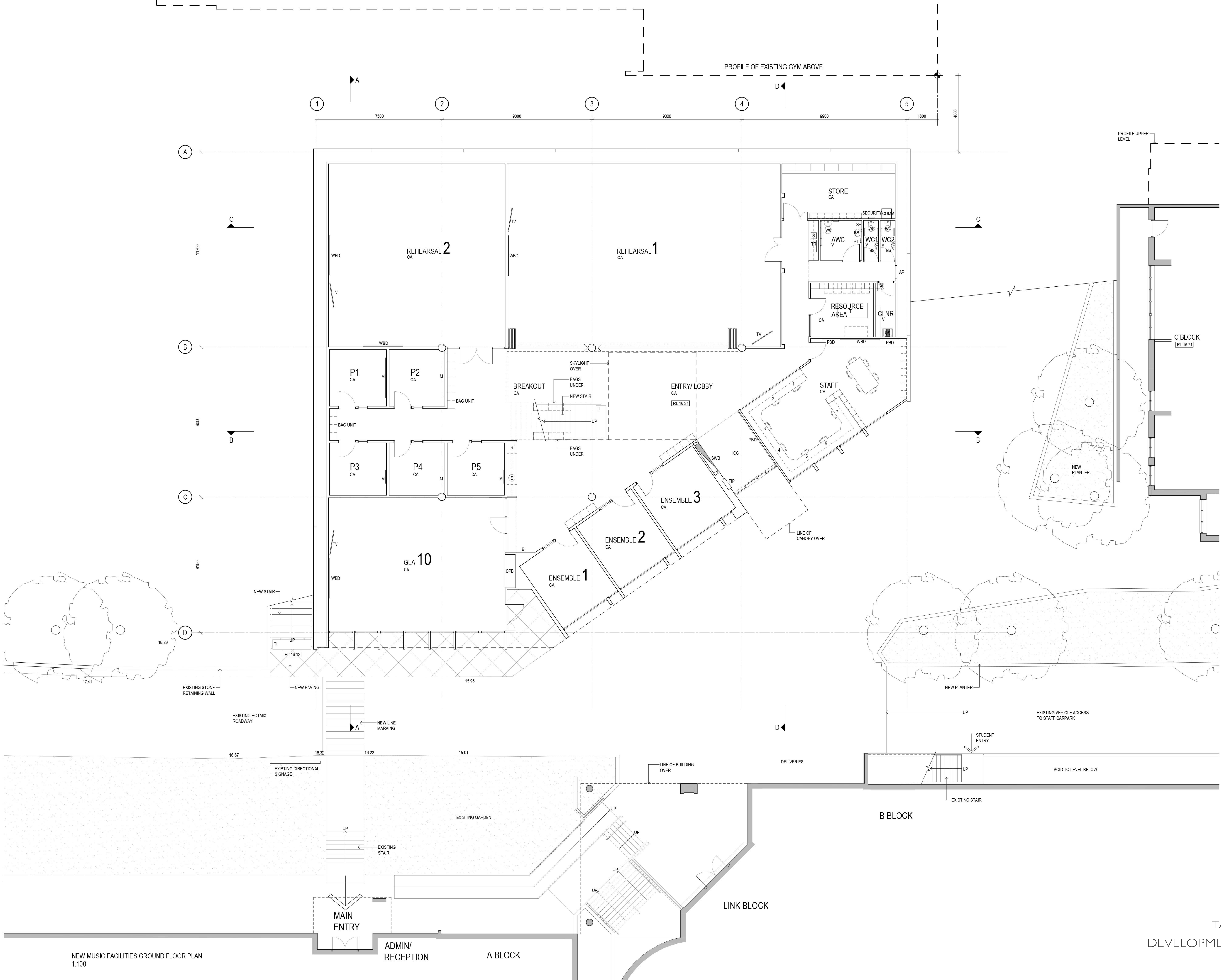
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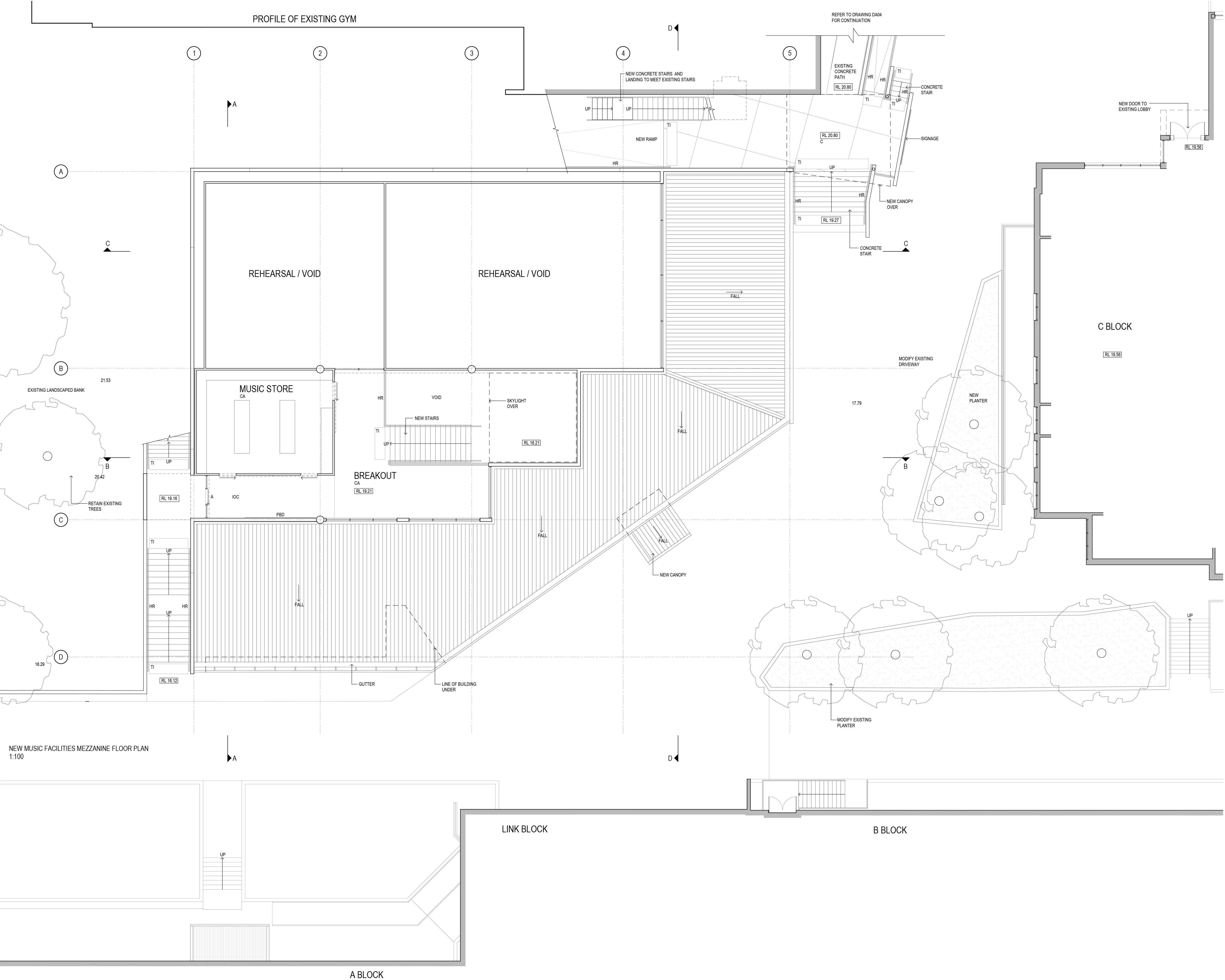
PROJECT NORTH



GROUND FLOOR PLAN

TAROONA HIGH SCHOOL
DEVELOPMENT APPLICATION PLANS





NEW MUSIC FACILITIES MEZZANINE FLOOR PLAN
1:100

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HOBART + LAUNCESTON + BURNIE

REVISION	DESCRIPTION	DATE

DRAWING KEY

- A AUTOMATIC DOOR
- C CONCRETE
- CA CARPET
- HR HANDRAIL
- TI TACTILE INDICATOR

- EXISTING
- NEW

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE
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TAROONA HIGH SCHOOL
NEW MUSIC FACILITIES
MEATH AVENUE, TAROONA

PROJECT NO : 02417
DATE : AUGUST 2018
DRAWN : KS
CHECKED : -
SCALE : 1:100 @A1
REVISION : -

PROJECT NORTH



MEZZANINE FLOOR PLAN

DRAWING KEY

C	CONCRETE
DP	DOWNPIPE
HR	HANDRAIL
TI	TACTILE INDICATOR

EXISTING
NEW

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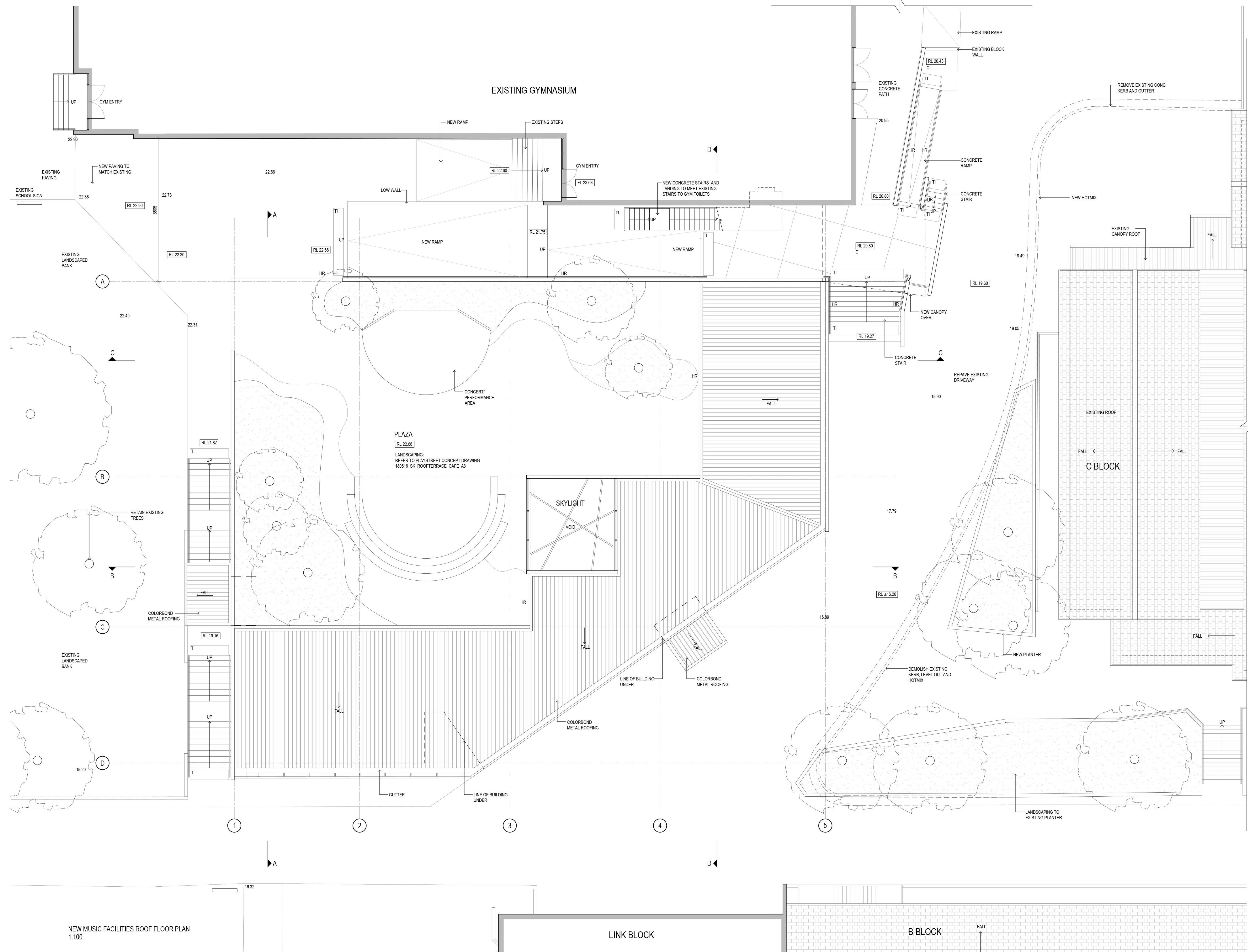
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PROJECT NORTH



PLAZA PLAN





REVISION	DESCRIPTION	DATE
A	DESIGN	25.07.2018
B	DESIGN	28.07.2018

DRAWING KEY

CA	CARPET
EX C	EXISTING CARPET
EX T	EXISTING TIMBER
EX V	EXISTING VINYL
HR	HANDRAIL
T	TIMBER
V	VINYL

---	DEMOLISHED
---	EXISTING
---	NEW

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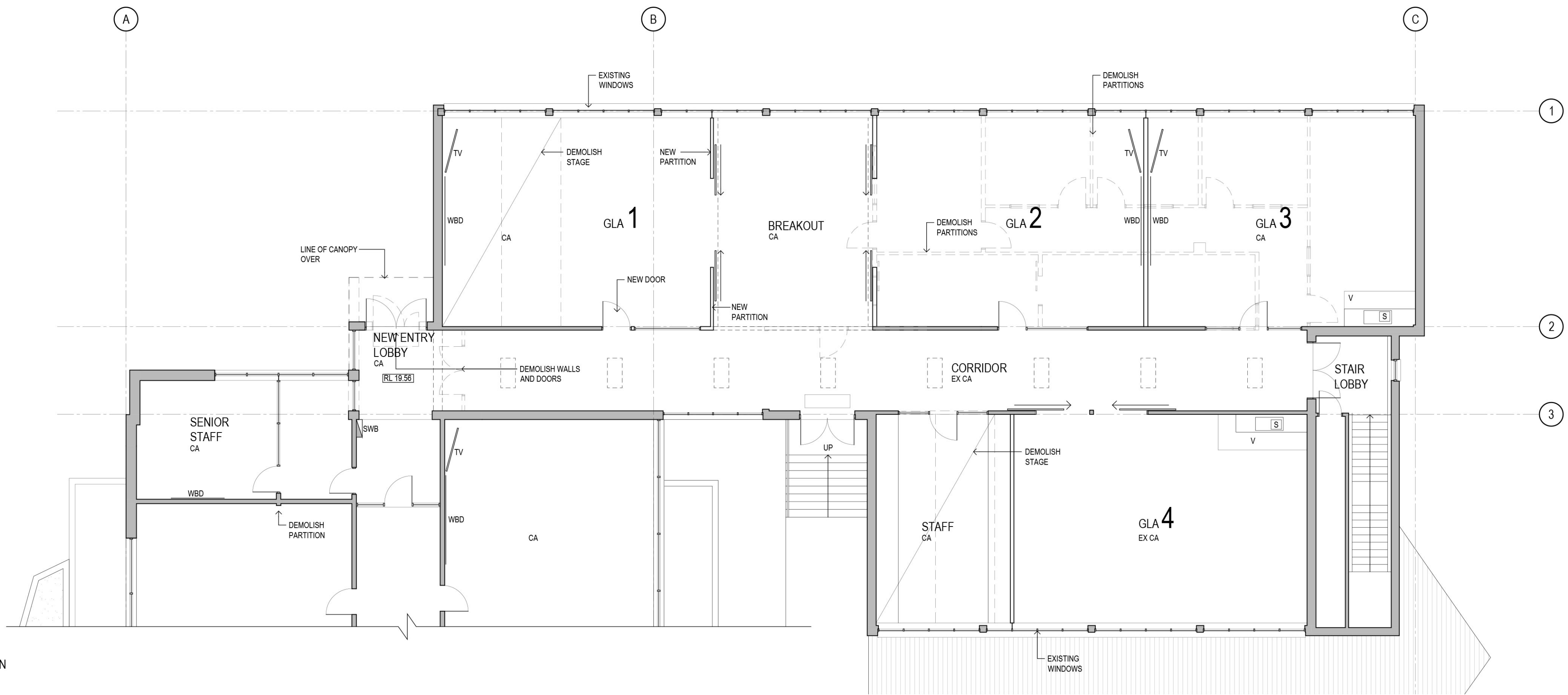
TAROONA HIGH SCHOOL
NEW MUSIC FACILITIES
MEATH AVENUE, TAROONA

PROJECT NO : 02417
DATE : MAY 2018
DRAWN : JH
CHECKED : -
SCALE : 1:100 @A1
REVISION : B

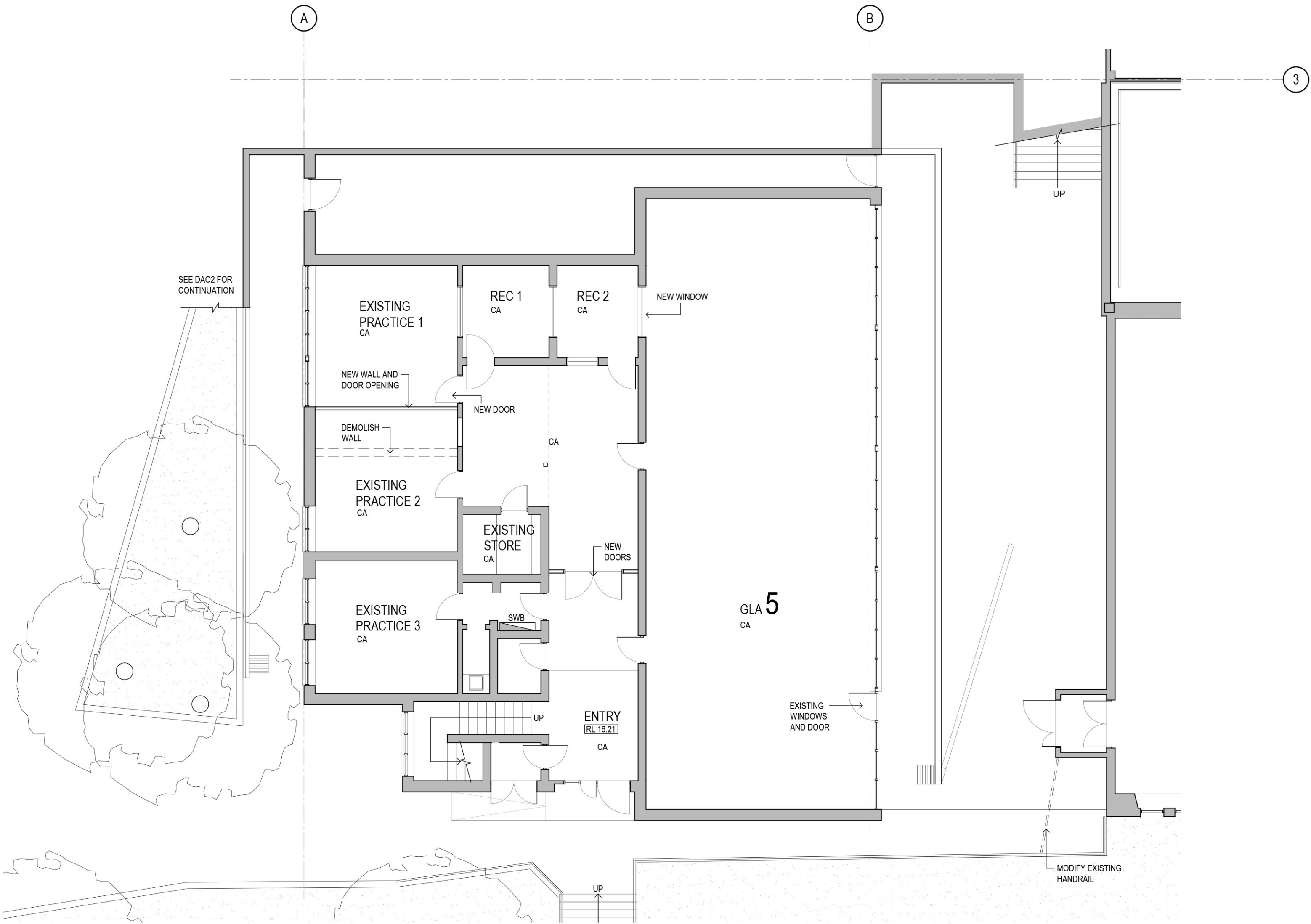
PROJECT NORTH



C BLOCK
GROUND FLOOR PLAN
FIRST FLOOR PLAN



C BLOCK FIRST FLOOR PLAN
1:100



C BLOCK GROUND FLOOR PLAN
1:100

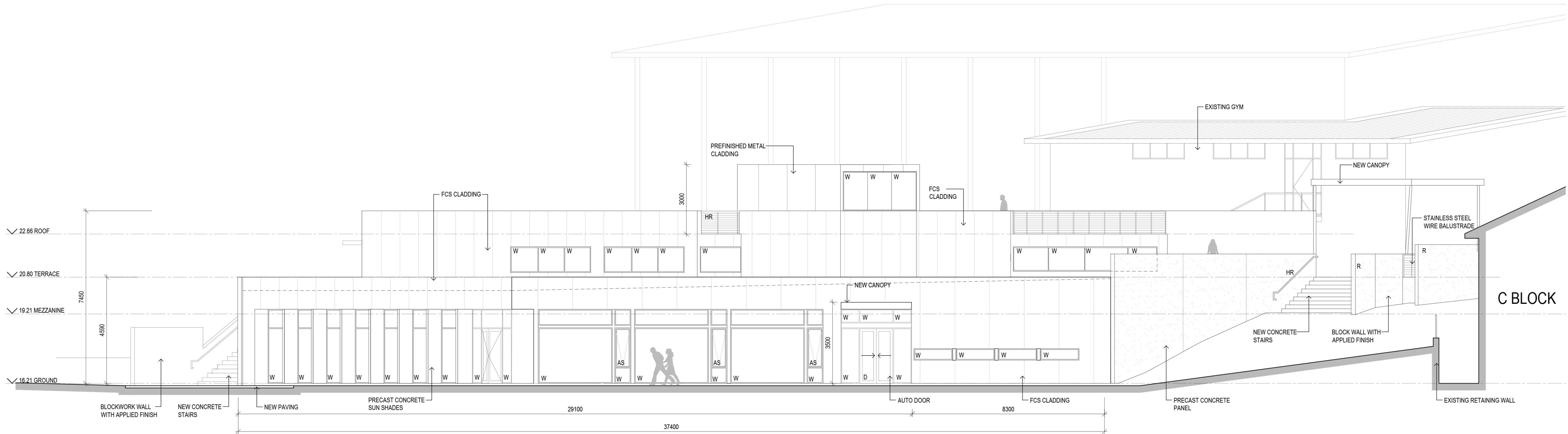


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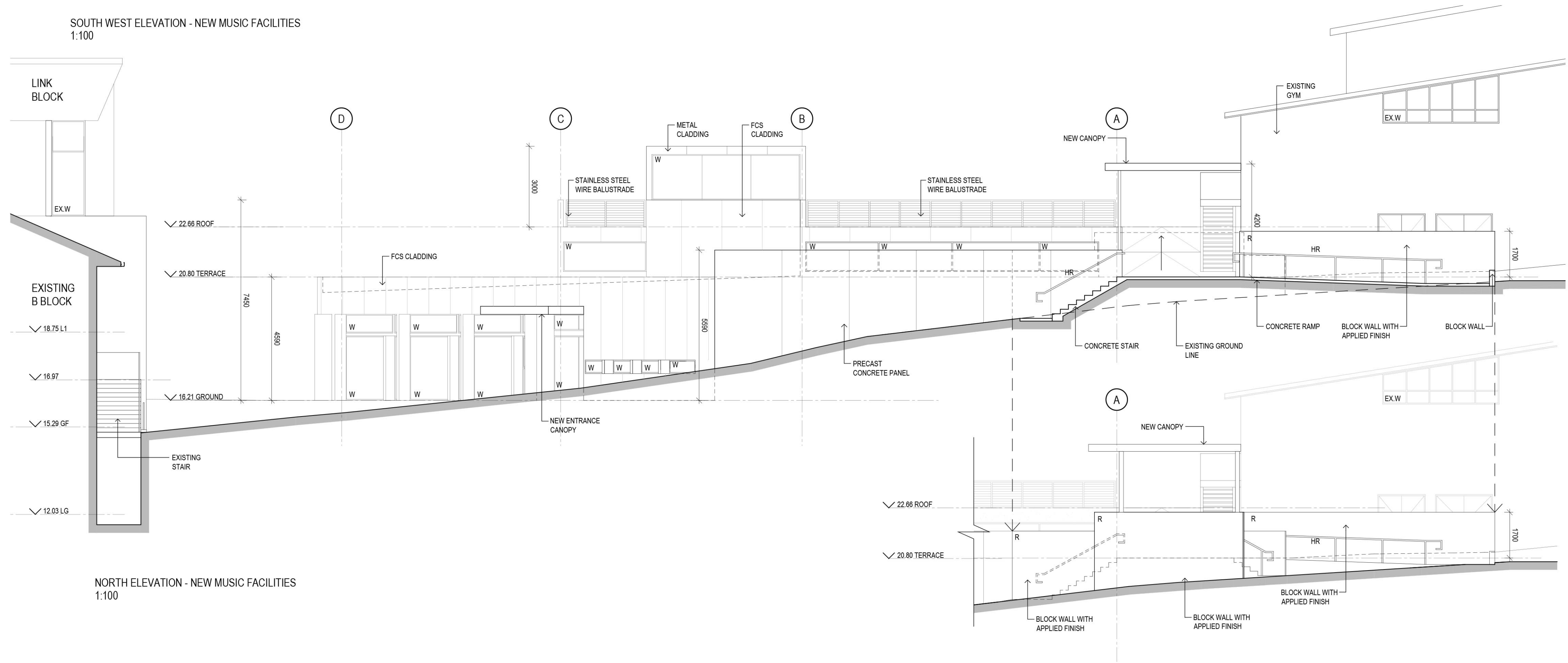
HOBART + LAUNCESTON + BURNIE

REVISION	DESCRIPTION	DATE

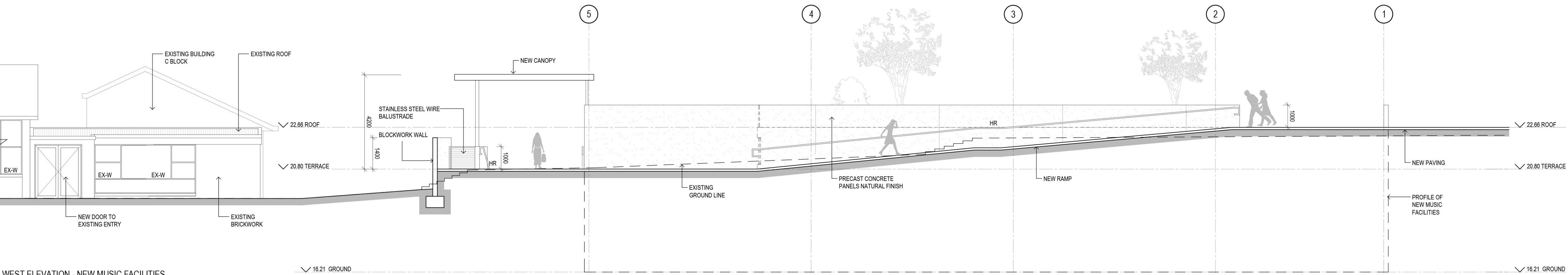
DRAWING KEY
D POWDER COATED ALUMINIUM DOORS AND FRAME
DP DOWN PIPE
EX-DP EXISTING DOWN PIPE
EX-W EXISTING WINDOW
HR HANDRAIL
R RENDERED
W POWDER COATED ALUMINIUM WINDOWS AND FRAME



SOUTH WEST ELEVATION - NEW MUSIC FACILITIES
1:100



NORTH ELEVATION - NEW MUSIC FACILITIES
1:100



WEST ELEVATION - NEW MUSIC FACILITIES
1:100

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TAROONA HIGH SCHOOL
NEW MUSIC FACILITIES
MEATH AVENUE, TAROONA

PROJECT NO : 02417
DATE : AUGUST 2018
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SCALE : 1:100 @A1
REVISION : -

NEW MUSIC FACILITIES
ELEVATIONS



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REVISION	DESCRIPTION	DATE

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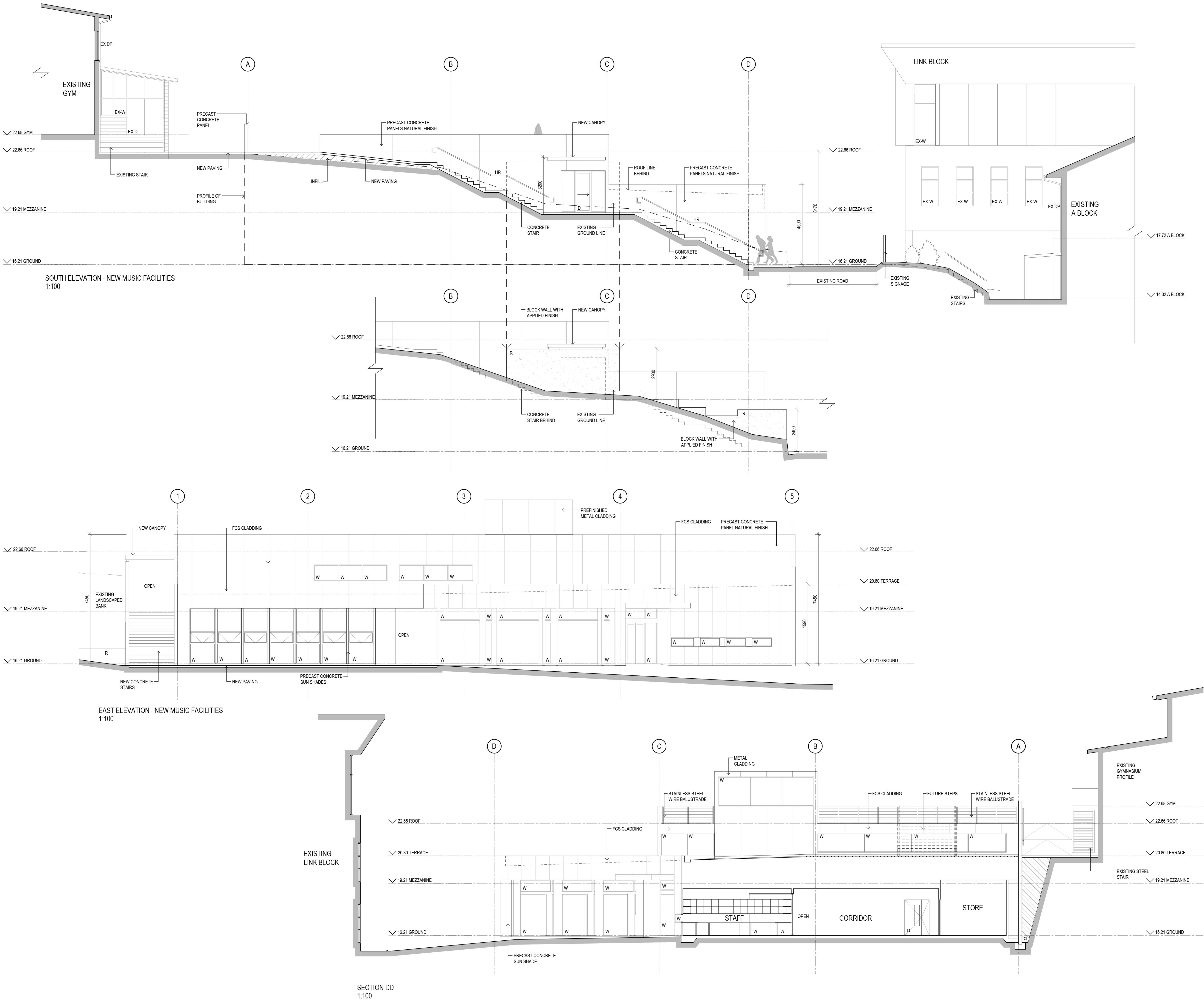
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TAROONA HIGH SCHOOL
NEW MUSIC FACILITIES
MEATH AVENUE, TAROONA

PROJECT NO : 02417
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REVISION : -

NEW MUSIC FACILITIES
ELEVATIONS AND SECTION





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REVISION	DESCRIPTION	DATE

DRAWING KEY
D POWDER COATED ALUMINIUM DOORS AND FRAME
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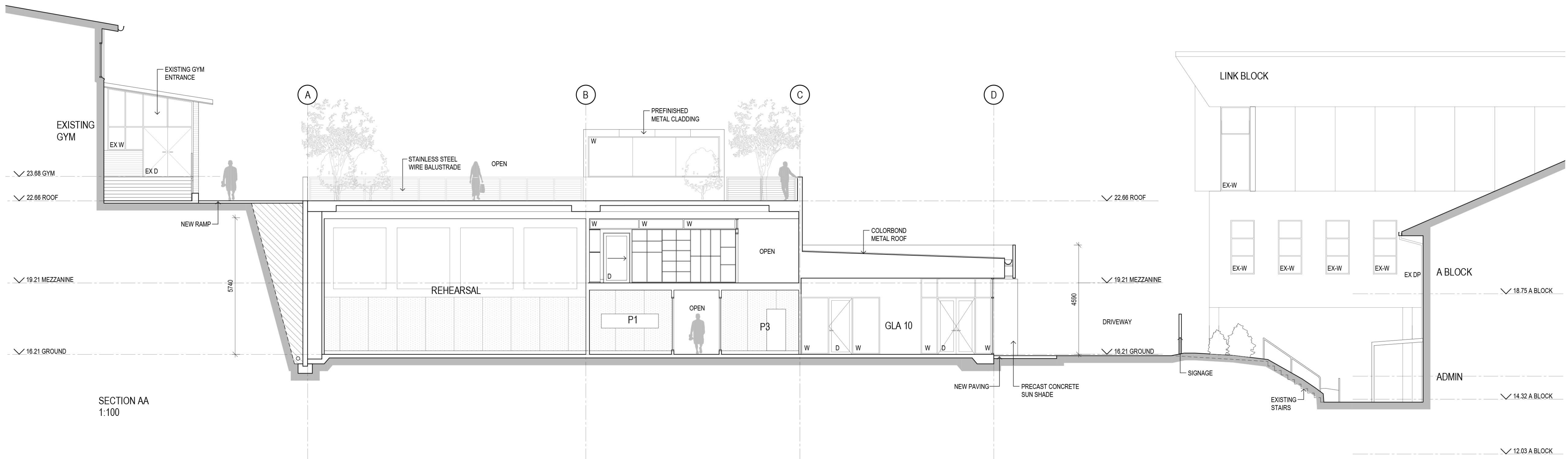
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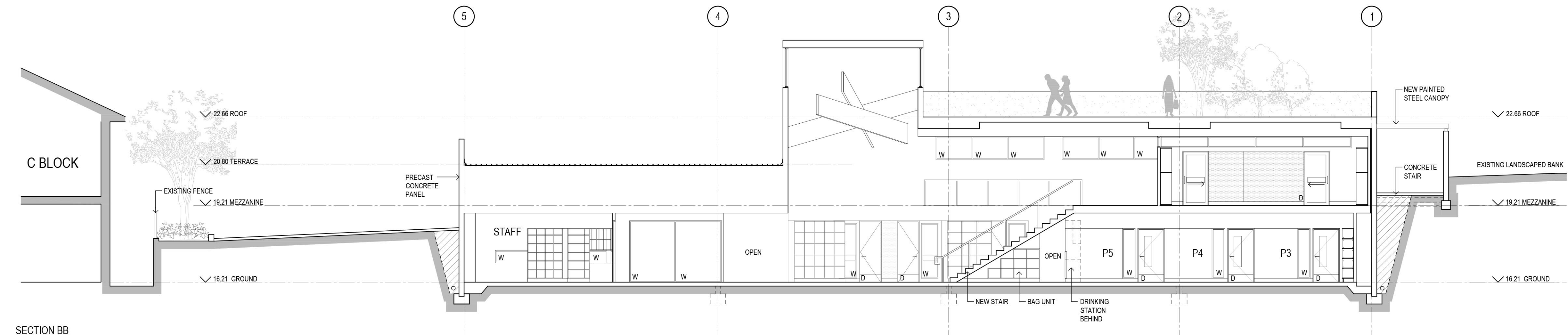
TAROONA HIGH SCHOOL
NEW MUSIC FACILITIES
MEATH AVENUE, TAROONA

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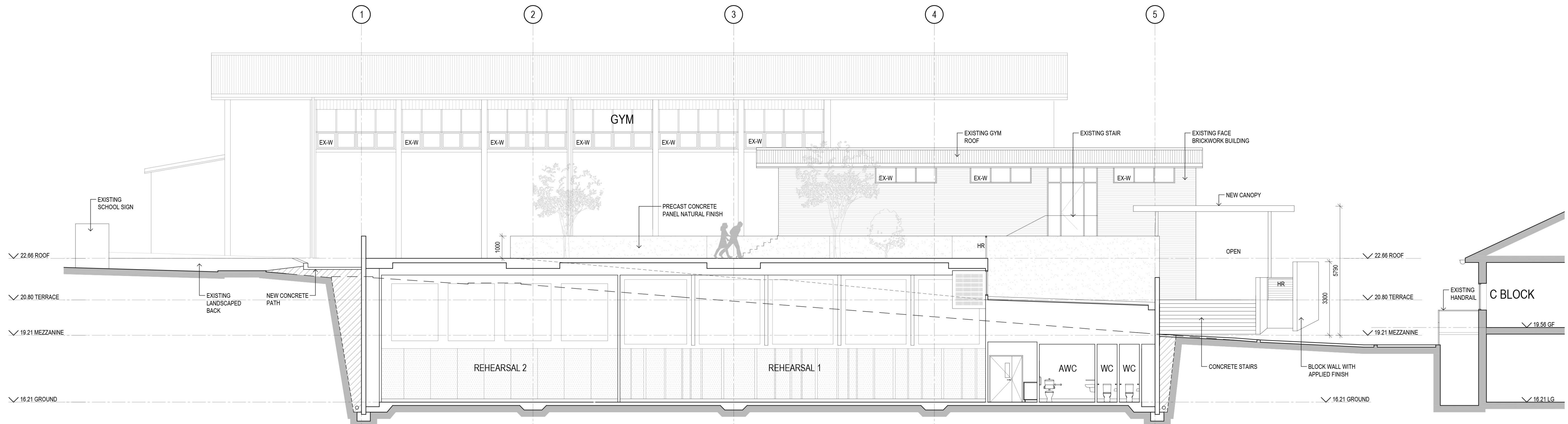
SECTIONS



SECTION AA
1:100



SECTION BB
1:100



SECTION CC
1:100

WT PARTNERSHIP

Project: T17-085 Taroona High **Details:** Estimate of Likely Cost
Building: Schematic Design Estimate Version T17-082C3 10-07-18

Ref	Description	Quantity	Unit	Rate	Estimated Cost (\$)
1	C BLock Minor Internal Works Only				252,000
2	Learning Hub Building Works Including Concrete Roof	941	m2	3,166.84	2,980,000
3	Learning Hub Site Works and Site Services				720,000
4	Landscaping To Hub Roof				98,000
	Total Estimated Construction Cost				<u>4,050,000</u>
8	Exclusions, Estimate Basis and Disclaimers				0

ESTIMATE DETAILS

Project: T17-085 Taroona High
Building: Schematic Design Estimate

Details: Estimate of Likely Cost
Version T17-082C3 10-07-18

Ref	Description	Quantity	Unit	Rate	Estimated Cost (\$)
1 C Block Minor Internal Works Only					
	<u>GROUND FLOOR WORKS</u>				
	<u>Demolition</u>				
1.A	Demolish existing pavers to receive new extension - see site works and site services		Note		Incl
1.B	Demolish existing stage (timber)	13	m2	30.00	390
1.C	Demolish internal walls/doors (non load bearing)	33	m2	20.00	660
1.D	Form opening for new doors assumed in lightweight walls	2	no	300.00	600
1.E	Demolish floor finishes	198	m2	8.00	1,584
1.F	Demolish ceiling finishes - excluded		Note		Excl
1.G	Sundry demolition works	1	Item	500.00	500
1.H	Removal of asbestos or other hazardous materials - excluded		Note		Excl
	<u>Substructure</u>				
1.I	Make good existing slabs where walls demolished	1	Item	500.00	500
	<u>Columns</u>				
1.J	Excluded		Note		Excl
	<u>External Windows/Doors</u>				
1.K	Modify existing handrail	1	Item	1,000.00	1,000
	<u>Internal Walls</u>				
1.L	New stud partition walls with acoustic insulation	18	m2	150.00	2,700
1.M	Make good internal walls following demolition works	1	Item	1,000.00	1,000
	<u>Internal Screens</u>				
1.N	Glazed partitions - excluded		Note		excl
	<u>Internal Doors</u>				
1.O	Operable wall - lotus wall or similar allowed 2.400 high	17	m2	750.00	12,750
1.P	Support beam to lotus wall including to demolish section of ceiling and make good	8	m	400.00	3,200
1.Q	Single leaf solid core doors with vision panels	3	no	1,000.00	3,000

ESTIMATE DETAILS

Project: T17-085 Taroona High
Building: Schematic Design Estimate

Details: Estimate of Likely Cost
Version T17-082C3 10-07-18

Ref	Description	Quantity	Unit	Rate	Estimated Cost (\$)
1 C Block Minor Internal Works Only					(Continued)
	<u>Wall Finishes</u>				
1.R	Paint finish to walls where affected by works	320	m2	20.00	6,400
	<u>Floor Finishes</u>				
1.S	Carpet floor finish to practice 1, recording, practice 2 , library and GLA9only	198	m2	50.00	9,900
1.T	Grind back adhesive	198	m2	10.00	1,980
1.U	Skirtings to new walls only	13	m	20.00	260
	<u>Ceiling Finishes</u>				
1.V	Suspended plasterboard ceiling to Library/GLA9 - excluded		Note		Excl
1.W	Patch ceilings locally following wall demolition works	11	m	30.00	330
1.X	Paint finish to ceilings	197	m2	20.00	3,940
	<u>Fitments</u>				
1.Y	Joinery - excluded		Note		Excl
1.Z	Allowance for acoustic wall panels - autex or similar	1	Item	10,000.00	10,000
	<u>Special Equipment</u>				
1.AA	Alterations to recording room equipment - excluded		Note		Excl
	<u>FIRST FLOOR WORKS</u>				
	<u>Demolition</u>				
1.AB	Demolish existing pavers to receive new extension - see site works and site services		Note		Incl
1.AC	Demolish existing stage (timber)	28	m2	30.00	840
1.AD	Demolish entry walls and roof	1	Item	1,000.00	1,000
1.AE	Demolish internal walls/doors (non load bearing)	142	m2	20.00	2,840
1.AF	Form opening for new doors assumed in lightweight walls	2	no	300.00	600
1.AG	Demolish floor finishes	208	m2	8.00	1,664
1.AH	Demolish ceiling finishes to GLA6 a only	83	m2	15.00	1,245
1.AI	Sundry demolition works	1	Item	500.00	500

ESTIMATE DETAILS

Project: T17-085 Taroona High
Building: Schematic Design Estimate

Details: Estimate of Likely Cost
Version T17-082C3 10-07-18

Ref	Description	Quantity	Unit	Rate	Estimated Cost (\$)
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1 C Block Minor Internal Works Only

(Continued)

1.AJ	Removal of asbestos or other hazardous materials - excluded		Note		Excl
	<u>Substructure</u>				
1.AK	Make good existing slabs where walls demolished	1	Item	1,000.00	1,000
1.AL	Infill under old stage - excluded		Note		Excl
1.AM	Infill slab to entrance and covered entry	20	m2	250.00	5,000
	<u>Columns</u>				
1.AN	Columns to new covered entrance	2	no	1,100.00	2,200
	<u>Roof</u>				
1.AO	New colorbond trimdeck roof over new entrance and building infill including fro framing, sheeting, gutters, flashings/cappings and insulation/sislation	21	m2	250.00	5,250
1.AP	Downpipes - included in Cova costs		Note		Incl
1.AQ	Roof safety system (assumed existing system exists for building already)	1	Item	1,500.00	1,500
	<u>External Windows/Doors</u>				
1.AR	Aluminum framed single glazed windows	21	m2	650.00	13,650
1.AS	Eo for single leaf door	1	Item	1,000.00	1,000
1.AT	Double leaf to breakout	1	no	2,500.00	2,500
	<u>Internal Walls</u>				
1.AU	New stud partition walls with acoustic insulation	60	m2	150.00	9,000
1.AV	Make good internal walls following demolition works	1	Item	1,500.00	1,500
	<u>Internal Screens</u>				
1.AW	Glazed partition - all new as advised	9	m2	500.00	4,500
1.AX	EO for film to screens and doors	9	m2	100.00	900
	<u>Internal Doors</u>				
1.AY	Aluminum framed single glazed single leaf door	1	no	1,500.00	1,500
1.AZ	Aluminum framed glazed sliding doors	17	m2	1,000.00	17,000

ESTIMATE DETAILS

Project: T17-085 Taroona High
Building: Schematic Design Estimate

Details: Estimate of Likely Cost
Version T17-082C3 10-07-18

Ref	Description	Quantity	Unit	Rate	Estimated Cost (\$)
1 C Block Minor Internal Works Only					<i>(Continued)</i>
	<u>Wall Finishes</u>				
1.BA	Paint finish to walls	478	m2	20.00	9,560
	<u>Floor Finishes</u>				
1.BB	Carpet floor finish	281	m2	50.00	14,050
1.BC	Grind back adhesive	281	m2	10.00	2,810
1.BD	Skirtings to new walls only	40	m	20.00	800
1.BE	Patch skirtings where walls are demolished	1	Item	500.00	500
1.BF	Entry matt	3	m2	450.00	1,350
	<u>Ceiling Finishes</u>				
1.BG	Suspended plasterboard ceiling to GLA06 and acoustic insulation	112	m2	105.00	11,760
1.BH	Patch ceilings locally following wall demolition works	39	m	30.00	1,170
1.BI	Paint finish to ceilings in areas where patches	259	m2	20.00	5,180
1.BJ	Ceiling to new external entrance - excluded		Note		Excl
	<u>Fitments</u>				
1.BK	Allowance for joinery/fitments	1	Item	10,000.00	10,000
1.BL	Joinery - excluded		Note		Excl
	<u>Special Equipment</u>				
1.BM	Excluded		Note		Excl
	<u>Engineering Services</u>				
1.BN	Allowance to adapt existing comms cabling to suit new layout	1	Item	5,000	5,000
1.BO	Dry fire services alterations to suit new layout	1	Item	1,800	1,800
1.BP	Electrical services alterations to suit new layout	1	Item	10,000	10,000
1.BQ	Hydraulic services - excluded		Note		Excl
1.BR	Mechanical services alterations - excluded		Note		Excl
1.BS	Security services alterations to suit new layout	1	Item	1,000	1,000
1.BT	BWIC with services	1	Item	2,000	2,000

ESTIMATE DETAILS

Project: T17-085 Taroona High
Building: Schematic Design Estimate

Details: Estimate of Likely Cost
Version T17-082C3 10-07-18

Ref	Description	Quantity	Unit	Rate	Estimated Cost (\$)
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1 C Block Minor Internal Works Only

(Continued)

Existing Roof Works					
1.BU	Works to existing roofs - excluded as advised		Note		Excl
1.BV	New skylights - excluded as advised		Note		Excl
Site Works and Site Services					
1.BW	All excluded		Note		Excl
Preliminaries and General Requirements					
1.BX	Preliminaries and general requirements @ 10%	1	Item	21,286.30	21,286
1.BY	Loading for working within occupied site - excluded, assumed that refurbishment works are undertaken during school shutdown period with no accelerated works or staging required		Note		Excl
1.BZ	Design contingency @ 7% (rounded)	1	Item	17,851	17,851
1.CA	Construction contingency - excluded		Note		Excl

C Block Minor Internal Works Only

252,000

2 Learning Hub Building Works Including Concrete Roof

BUILDING WORKS					
Substructure					
2.A	Concrete slab on ground	824	m2	250.00	206,000
2.B	Eo for footings to retaining walls	81	m	500.00	40,500
2.C	Insulation and topping screed for hydronic heating within rehearsal spaces 1&2 - excluded, hydronic heating not included in scheme		Note		Excl
2.D	Piling or contiguous piled walls - excluded as advised		Note		Excl
Columns					
2.E	Allowance for columns	958	m2	65.00	62,270
Upper Floors					
2.F	Lightweight floor with particleboard floor and acoustic insulation	135	m2	225.00	30,375
Staircases					

ESTIMATE DETAILS

Project: T17-085 Taroona High
Building: Schematic Design Estimate

Details: Estimate of Likely Cost
Version T17-082C3 10-07-18

Ref	Description	Quantity	Unit	Rate	Estimated Cost (\$)
2 Learning Hub Building Works Including Concrete Roof					(Continued)
2.G	Internal staircase leading to mezzanine in steel/chipboard	1	Item	7,000.00	7,000
2.H	Balustrades to stairs	11	m	450.00	4,950
	<u>Roof</u>				
2.I	Post tensioned concrete slab with xypex additive	591	m2	400.00	236,400
2.J	Waterproofing membrane - excluded as advised		Note		Excl
2.K	Drainage cell - excluded as advised		Note		Excl
2.L	Drainage sumps etc and downpipes - included in Cova costs		Note		Incl
2.M	Insulation fixed to underside of concrete roof	591	m2	50.00	29,550
2.N	Colorbond roof complete with framing, colorbond, rainwater installations and insulation	304	m2	280.00	85,121
2.O	Downpipes - see Cova costs		Note		Incl
2.P	Roof safety equipment	1	Item	5,000.00	5,000
2.Q	Skylight - double glazed aluminum toughened glass	40	m2	1,200.00	48,000
2.R	Up stand to skylight in centre of roof - see external walls		Note		Incl
2.S	Roof at new stairs - see site works and site services		Note		Incl
	<u>External Walls</u>				
2.T	Pre-cast external walls with coloured finish (grey cement and oxide)	623	m2	320.00	199,360
2.U	Tanking and drainage to pre-cast	363	m2	90.00	32,670
2.V	Cement sheet system to front	215	m2	250.00	53,750
2.W	Metal cladding (alucobond or similar) around skylight	55	m2	500.00	27,500
2.X	Insulation/sislation/framing/plasterboard to walls	892	m2	108.00	96,336
2.Y	Balustrades to landscaped areas - see landscape costs		Note		Incl
2.Z	Piled retaining walls/shotcrete in lieu of pre-cast retaining walls - excluded		Note		Excl
	<u>External Windows</u>				
2.AA	Aluminum framed double glazed windows to rooftop level	63	m2	750.00	47,250
2.AB	EO to cement sheet cladding for aluminum framed double glazed windows	92	m2	450.00	41,400
2.AC	Metal sunshading	20	m2	500.00	10,000
	<u>External Doors</u>				

ESTIMATE DETAILS

Project: T17-085 Taroona High
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Version T17-082C3 10-07-18

Ref	Description	Quantity	Unit	Rate	Estimated Cost (\$)
2 Learning Hub Building Works Including Concrete Roof					<i>(Continued)</i>
2.AD	EO to glazing for automatic single leaf sliding door	1	no	7,000.00	7,000
2.AE	Double leaf doors to GLA10	1	no	3,000.00	3,000
2.AF	Single leaf aluminum framed glazed door to mezzanine breakout	1	no	2,000	2,000
<u>Internal Walls</u>					
2.AG	Stud partition walls - plasterboard with acoustic insulation	560	m2	150.00	84,000
2.AH	EO for perforated MDF panels or similar with heavyweight insulation	508	m2	100.49	51,051
<u>Internal Screens and Borrowed Lights</u>					
2.AI	Aluminum framed glazed partitions - no acoustic	95	m2	450.00	42,750
2.AJ	EO for double glazed partitions to ensemble and practice rooms	63	m2	300.00	18,900
2.AK	Film to glazing - assumed say 50% of area	48	m2	100.00	4,800
2.AL	Balustrade to match stairs to landing voids on mezzanine level	10	m	450.00	4,500
<u>Internal Doors</u>					
2.AM	Single leaf solid core door with closer (or cavity sliding door) or double leaf doors without closers	10	no	900.00	9,000
2.AN	Single leaf aluminum framed glazed door with closer	10	no	1,800.00	18,000
2.AO	Double leaf aluminum framed glazed door to rehearsal 1 and 2	3	no	2,500.00	7,500
2.AP	EO for double glazed to practice and ensemble rooms	8	no	500.00	4,000
2.AQ	Stacking glass single glazed door to rehearsal 1 2,400 high	28	m2	1,300.00	36,400
2.AR	Double leaf doors to Music Y7 and Y8-10 and store	3	no	1,300.00	3,900
<u>Wall Finishes</u>					
2.AS	Paint finish to walls	1,895	m2	20.00	37,900
2.AT	Finish to WC walls etc - tiles splash backs	8	m2	150.00	1,200
<u>Floor Finishes</u>					
2.AU	Floor finishes generally - carpet/vinyl	953	m2	50.00	47,650
2.AV	Eo for vinyl to wet areas	29	m2	30.00	870
2.AW	Entry matt and frame	6	m2	450.00	2,700

ESTIMATE DETAILS

Project: T17-085 Taroona High
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Version T17-082C3 10-07-18

Ref	Description	Quantity	Unit	Rate	Estimated Cost (\$)
2 Learning Hub Building Works Including Concrete Roof					<i>(Continued)</i>
2.AX	EO for carpet to stairs	53	m2	50.00	2,650
2.AY	Tactiles/nosings to internal stairs	1	Item	7,000.00	7,000
	<u>Ceiling Finishes</u>				
2.AZ	Plasterboard suspended ceiling generally with acoustic insulation including for paint finish	740	m2	115.00	85,100
2.BA	Eo for perforated plasterboard to practice and ensemble rooms	115	m2	20.00	2,300
2.BB	Timber ceiling to rehearsal void - timber slats including loading in rate for altering angles of ceiling	301	m2	350.00	105,350
2.BC	Eo for increase acoustic insulation to rehearsal space	301	m2	20.00	6,020
	<u>Fitments</u>				
2.BD	GLA joinery - excluded		Note		Excl
2.BE	Ensemble/practice room/rehearsal room joinery - excluded		Note		Excl
2.BF	Acoustic fabric panels - excluded		Note		Excl
2.BG	Staff area laminate desks with overhead shelving	20	m	750.00	15,000
2.BH	Cleaners shelving	1	Item	500.00	500
2.BI	Joinery to corridor backing onto AMC	3	m	1,000.00	3,000
2.BJ	Resource area fitments - excluded		Note		Excl
2.BK	WC fixtures and fittings	3	sets	200.00	600
2.BL	Access WC grab rails	1	Item	1,500.00	1,500
2.BM	Ambulant wc grab rails	2	sets	150.00	300
2.BN	Mirrors to WCs	3	no	250.00	750
2.BO	Cafe joinery in laminate	4	m	1,280.00	5,120
2.BP	Music storage pidgeon holes	30	m	500.00	15,000
2.BQ	Allowance for white board and pin boards	1	Item	5,000.00	5,000
2.BR	Allowance for signage	1	Item	3,000.00	3,000
2.BS	Fire extinguishers	1	Item	3,000.00	3,000
2.BT	Mobile stages - excluded		Note		Excl
2.BU	Dado wall linings		Note		Excl
	<u>Sanitary Fixtures</u>				
2.BV	Access WC	1	no	1,700.00	1,700
2.BW	Circular sinks to cafe	2	no	500.00	1,000

ESTIMATE DETAILS

Project: T17-085 Taroona High
Building: Schematic Design Estimate

Details: Estimate of Likely Cost
Version T17-082C3 10-07-18

Ref	Description	Quantity	Unit	Rate	Estimated Cost (\$)
2 Learning Hub Building Works Including Concrete Roof					<i>(Continued)</i>
2.BX	Cleaners sink	1	no	1,400.00	1,400
2.BY	WC	2	no	900.00	1,800
2.BZ	WHB	3	no	500.00	1,500
2.CA	Sink to joinery in corridor	1	no	600.00	600
2.CB	Shower to access WC - excluded		Note		Excl
	<u>Sanitary Plumbing</u>				
2.CC	Included in Cova services estimates		Note		Incl
	<u>Water Supply</u>				
2.CD	Cold and hot water reticulation - included in Cova services estimates		Note		Incl
2.CE	Hot water cylinder - included in Cova services estimates		Note		Incl
2.CF	Sink Mixer[so \$320]	6	no	498.00	2,988
2.CG	Chilli billi to cafe	1	Item	4,000.00	4,000
	<u>Engineering Services</u>				
2.CH	Engineering services to C block per Cova estimate rev A received 28/05/18				
2.CI	Communications services	1	Item	18,920	18,920
2.CJ	Dry fire services	1	Item	41,500	41,500
2.CK	Electrical services	1	Item	232,810	232,810
2.CL	Hydraulic services	1	Item	103,450	103,450
2.CM	Mechanical services	1	Item	212,208	212,208
2.CN	Security services	1	Item	12,860	12,860
2.CO	BWIC with services	1	Item	10,000	10,000
2.CP	Notional credit for reduction in building area - pending Cova advice	1	Item	-40,000	-40,000
	<u>Preliminaries and General Requirements</u>				
2.CQ	Preliminaries and general requirements @ 10%	1	Item	251,847.95	251,848
2.CR	Design contingency @ 7.5% (rounded)	1	Item	209,673	209,673
2.CS	Construction contingency - excluded		Note		Excl

Learning Hub Building Works Including Concrete Roof

2,980,000

ESTIMATE DETAILS

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Ref	Description	Quantity	Unit	Rate	Estimated Cost (\$)
3 Learning Hub Site Works and Site Services					
	<u>SITE WORKS AND SITE SERVICES</u>				
	<u>Site Preparation</u>				
3.A	Excavation to reduce levels	4,200	m3	26.15	109,830
3.B	Demolish existing retaining walls - excluded		Note		Excl
3.C	Excavation in rock allowance (generally clay and floaters per architect advice)	1	Item	10,000.00	10,000
3.D	Demolish existing hotmix	515	m2	15.00	7,725
3.E	Demolish existing kerb - excluded to be retained		Note		Excl
3.F	Demolish hardstand in bank being excavated	500	m2	30.00	15,000
3.G	Allowance for fill to bring new paving to side of hub upto levels - scope TBA	1	Item	20,000	20,000
	<u>External Stairs/Ramps</u>				
3.H	Concrete steps on grade to to west of building	1	Item	12,000.00	12,000
3.I	Retaining wall to Eastern stairs including for footing	35	m2	500.00	17,500
3.J	Balustrades to external stairs	47	m	450.00	21,150
3.K	New concrete stairs and landing to meet existing stairs to gym	1	Item	10,000.00	10,000
3.L	Balustrade walls to roof terraces	97	m	450.00	43,650
3.M	Ramped entrance/steps to north	1	Item	50,000.00	50,000
3.N	Signage to northern steps	1	Item	3,000	3,000
3.O	New canopy over northern steps/ramp	30	m2	700	21,000
3.P	Tactiles/nosings to external concrete stairs/ramps	1	Item	10,000.00	10,000
3.Q	Allowance to make good existing hotmix/minor modifications	1	Item	20,000.00	20,000
3.R	Planter to west	1	Item	8,000	8,000
3.S	Finish over external concrete stairs		Note		Excl
	<u>External Roads and Footpaths</u>				
3.T	Paving to south and west of building in plain grey concrete (not included in playstreet quantities)	429	m2	140.00	60,060
3.U	Retaining wall to grid 2.5 to 3 above grid a including for balustrade wall and footing	13	m2	500.00	6,500
3.V	Handrails to north/south paved areas fixed to walls	78	m	130.00	10,140

ESTIMATE DETAILS

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Ref	Description	Quantity	Unit	Rate	Estimated Cost (\$)
3 Learning Hub Site Works and Site Services					(Continued)
3.W	Paving to former hotmix road and outside canteen - included in Playstreet Lower plaza and Cafe Areas		Note		Incl
<u>Outbuildings and Covered Ways</u>					
3.X	Colorbond roof between music room and canteen building - excluded		Note		Excl
<u>Podium Landscape Finish</u>					
3.Y	See separate section		Note		Incl
<u>Lower Plaza Landscaping</u>					
3.Z	Excluded		Note		Excl
<u>Cafe Landscaping</u>					
3.AA	Excluded		Note		Excl
<u>Infrastructure Connections Music Building</u>					
3.AB	Engineering services per Cova estimate rev B received 06/06/18				
3.AC	Communications services	1	Item	7,000	7,000
3.AD	Domestic water supply	1	Item	6,000	6,000
3.AE	Dry fire services	1	Item	5,000	5,000
3.AF	Electrical services	1	Item	23,000	23,000
3.AG	Hydraulic services	1	Item	0	Excl
3.AH	Public address services	1	Item	0	Excl
3.AI	Sewer services	1	Item	13,500	13,500
3.AJ	Storm water services	1	Item	27,000	27,000
3.AK	Wet fire services	1	Item	0	Excl
3.AL	BWIC with services including for trenches	1	Item	4,000	4,000
<u>Enabling Works Music Building</u>					
3.AM	Engineering services per Cova estimate rev B received 06/06/18				
3.AN	Communications services	1	Item	1,000	1,000
3.AO	Electrical services	1	Item	1,500	1,500

ESTIMATE DETAILS

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Ref	Description	Quantity	Unit	Rate	Estimated Cost (\$)
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3 Learning Hub Site Works and Site Services

(Continued)

3.AP	Hydraulic services	1	Item	27,200	27,200
3.AQ	Sewer services	1	Item	4,000	4,000
3.AR	Storm water services	1	Item	21,000	21,000
3.AS	Wet fire services	1	Item	12,000	12,000
3.AT	BWIC with services including for trenches	1	Item	4,000	4,000
<u>Preliminaries and General Requirements</u>					
3.AU	Preliminaries and general requirements @ 10%	1	Item	61,175	61,175
3.AV	Design contingency @ 7.5% (rounded)	1	Item	47,070	47,070
3.AW	Construction contingency - excluded		Note		Excl

Learning Hub Site Works and Site Services

720,000

4 Landscaping To Hub Roof

<u>Podium Landscape Finish</u>					
4.A	Per Play Street Allowances 28/05/18 version 1 for Roof Terrace				
4.B	Paving 1 (sandy coloured paving around skylight area) - allowed as stencil seal per discussion with architect and not per Playstreet rate	288	m2	50	14,400
4.C	Paving to lower section of roof - allowed as stencil seal (not covered by playstreet quantities)	173	m2	50	8,650
4.D	Paving shown as grey - allowed as stencil seal	129	m2	50	6,450
4.E	Low raised walls	95	lm	400	38,000
4.F	Artificial turf	95	m2	200	19,000
4.G	Advanced trees	10	no	500	5,000
4.H	Garden beds	115	m2	65	7,475
4.I	Irrigation	1	Item	2,500	2,500
4.J	Notional saving for reduced area of podium roof	-233	m2	84	-19,556
4.K	Upgrade paving to playstreet rate for stone/concrete - excluded		Note		Excl
<u>Preliminaries and General Requirements</u>					
4.L	Preliminaries and general requirements @ 10%	1	Item	8,192	8,192
4.M	Design contingency @ 7% (rounded)	1	Item	7,889	7,889
4.N	Construction contingency - excluded		Note		Excl

Landscaping To Hub Roof

98,000

ESTIMATE DETAILS

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Ref	Description	Quantity	Unit	Rate	Estimated Cost (\$)
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5 Exclusions, Estimate Basis and Disclaimers

	<u>Exclusions</u>				
5.A	Increased costs to time of tender [all costs are as at date of estimate]				
5.B	Property Purchase and associated costs				
5.C	Finance, holding charges , cost of money provisions and legal fees				
5.D	GST or Input tax credits				
5.E	Design and Supervision Professional Fees				
5.F	Construction contingency				
5.G	Loose furniture and equipment, curtains and blinds				
5.H	Whitegoods, kitchen equipment and other 'plug in' electrical goods				
5.I	AV equipment , POS or networking active equipment				
5.J	Excavation in rock (except as noted) or additional foundations to suit poor ground conditions				
5.K	Removal of asbestos (except as noted) or other hazardous materials				
5.L	On costs due to accelerated programme or staging				
5.M	Works outside site boundary , Authorities fees or headworks charges, infrastructure upgrade works				
5.N	Works within B block				
5.O	Works within existing buildings except as noted				
5.P	Remedial works to structure of existing buildings				
5.Q	In ground services diversions				
5.R	Contiguous piled wall and piling to new music hub				
5.S	Hydronic heating				
5.T	Increase specification of finishes to hub concrete roof in line with Playstreet costs				
5.U	Canteen				
5.V	Landscaping outside of new podium roof				
	<u>Estimate Basis</u>				
5.W	This estimate is based on the following documentation provided by separate consultants without the benefit of full specification for materials and workmanship,bore logs, finished levels, structural drawings and construction details.				

ESTIMATE DETAILS

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Ref	Description	Quantity	Unit	Rate	Estimated Cost (\$)
5 Exclusions, Estimate Basis and Disclaimers					<i>(Continued)</i>
5.X	Architectural Tim Penny Architecture drawings 02417/DA/01,07,08,09 dated May 2018 received 22/06/18 and DA02,03,04,05,06 dated May 2018 received 05/07/18				
5.Y	Landscaping per Playstreet drawings 180516 dated May 2018 issue B and costs Version 1 dated 28/05/18				
5.Z	Engineering services per Cova Rev B costs dated 06/06/18				
5.AA	The advised indication of cost is an estimate based on available information and as such is our opinion of likely cost for scope as described on the documents.				
5.AB	The costs indicated should only be used as target budgets during the design development as an aid to cost planning of this project.				
	<u>Disclaimer</u>				
5.AC	The contents of this estimate should only be treated as advice on quantity surveying and like matters and not architectural, building surveying or engineering advice. We recommend that Clients consult with their respective advisors before relying upon it.				
5.AD	This estimate is intended for use only by the client noted. WT Partnership does not accept any liability which may result of any other person acting upon or using the information contained in this report.				
5.AE	Estimates and other data advised by third parties has been included on face value and has not been independently verified.				
5.AF	Quantities are approximate and are not suitable for use in tendering documentation, marketing or lease purposes.				

Exclusions, Estimate Basis and Disclaimers

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**TAROONA HIGH SCHOOL
COMMUNITY CONSULTATION MATRIX**

Level of Participation	Objective	Contract with the school community	Actions	Key Groups
Inform	To provide the community with balanced, objective, ongoing and timely information.	To keep the community informed	<ul style="list-style-type: none"> • Regular updates via newsletter • Webpage • Information about decision or directive 	<ul style="list-style-type: none"> • School Community (newsletter) • Public (newspaper/website) • Community Association
Consult	To obtain feedback on analysis, proposals, alternatives, and/or decisions.	To keep the community informed, listen to and acknowledge concerns, and provide feedback on how input influenced the final decision or outcome.	<ul style="list-style-type: none"> • Identify appropriate stakeholders and their needs and issues • Seek comment on proposal • Request response, but limited opportunity for dialogue • Consider consultation feedback in decision making 	<ul style="list-style-type: none"> • THSA • School neighbours • TPS • TPSA • School Staff
Involve	To work directly with the community throughout the process to ensure that public and private concerns are respectfully understood and considered.	To work with the community and ensure that their concerns and issues are directly reflected in the alternatives developed and provide feedback on how input influenced the decision.	<ul style="list-style-type: none"> • Assist informed input through briefing and informed dissemination • Participatory approach 	<ul style="list-style-type: none"> • Teaching Staff-learning areas identified • Parent/student/staff - working groups • Learning Area Leaders • Leadership Team
Partner	To partner in each aspect of decision making including the development of alternatives and the identification of the preferred solution.	To seek direct advice and innovation in formulating solutions and to incorporate advice and recommendations into the maximum number of decisions possible.	<ul style="list-style-type: none"> • Establish partnerships for involvement in decision making • Allocate responsibilities for achieving outcomes • Develop ways of communicating progress 	<ul style="list-style-type: none"> • OM - LSSR • Principal • Architect • Builder • SA Representative • SBM • LAL- Arts